



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario POG 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

Committee of Adjustment - Public Meeting Agenda October 1, 2024 – 5:00 p.m.

1. Call to Order – Res. No. 24-13

- Introductions are made: Members of the Committee and Staff

2. Disclosure of Pecuniary and/ or Personal Interest and General Nature Thereof

3. Meeting Protocol

- The Chairperson takes a roll call of guests and visitors who are in attendance.
- The Chairperson asks that all comments be addressed through the Chairperson and that the person making comments should state his/her name before speaking.

4. Appointments

5. Minutes

- September 17, 2024 Meeting – **Res. No. 24-14**

6. Discussion:

6.1 Murray – Application No. A/04/2024 Proposed accessory building (garage, private) to exceed the maximum height requirement.

- The Chairperson will ask the Secretary/Treasurer if all Notices have been filed and the corresponding dates.
- The Chairperson will ask the Secretary/Treasurer if any letters or related correspondence have been received and, if so, the nature thereof.
- The Applicant will make their presentation and comments, if in attendance
- Questions or comments from Committee of Adjustment members and the public

7. Decision of Committee of Adjustment

7.1 Murray Decision – Res. No. 24-15

8. Adjournment - Res. No. 24-16



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Committee of Adjustment Minutes

September 17, 2024

Chair, David Moore called the meeting to order at 5:00 p.m.

INTRODUCTIONS

Chair, David Moore took Roll Call.

Present: Chair, David Moore; Morley Haskim, Mike Kekkonen, Reg Moore, Nick Ryeland, Debbie Zulak

Staff: Secretary/Treasurer, Karlee Britton

DECLARATIONS OF PECUNIARY AND/OR PERSONAL INTEREST AND GENERAL NATURE THEREOF

There were no conflicts of interest declared.

Moved by: Debbie Zulak

Seconded by: Mike Kekkonen

24-09 That the Committee of Adjustment meeting agenda is accepted, as presented.

Carried

Moved by: Mike Kekkonen

Seconded by: Debbie Zulak

24-10 That the Committee of Adjustment Minutes from the June 18, 2024 meeting are accepted, as circulated.

Carried

6.1 Discussion – Wozniak, Rhynie Application No. A/03/2024

Chair, David Moore asked if any letters or related correspondence were received. Secretary-Treasurer, Karlee Britton replied that a relative of the owner of 23 Middle River Drive phoned the office and had no objection to the application. The Township's Project Administrator (Public Works), Thomas Stoneman visited the property to determine if the decreased rear yard setback would inhibit snowplowing operations within the turnaround. Mr. Stoneman had no objection to the application.

Chair, David Moore asked if the applicant would like to speak to the application. Rhynie Wozniak was present, and answered questions from the Committee members.

Chair, David Moore asked if there were any questions or comments from the public, there were no questions.



CORPORATION OF THE TOWNSHIP OF MCKELLAR

Committee of Adjustment Minutes

September 17, 2024

Moved by: Reg Moore

Seconded by: Nick Ryeland

24-11 **Be It Resolved That** the Committee of Adjustment does hereby grant the Minor Variance Application A/03/2024 – Wozniak to permit relief of one accessory building/structure (garage private) to:

- 1) Permit 1.4 meters relief from the minimum rear yard setback to allow for a rear yard setback of 1.6 meters and;
- 2) Permit an accessory building/structure that is neither incidental and/or ancillary to the primary dwelling; and
- 3) That all other applicable Sections of By-Law 95-12, as amended, are to be complied with.

Carried

Moved by: Reg Moore

Seconded by: Nick Ryeland

24-12 **That** the Committee of Adjustment does now adjourn.

Carried

The meeting adjourned at 5:13 p.m.

David Moore, Chair

Karlee Britton, Secretary/Treasurer



Township of McKellar

701 Hwy #124, P.O. Box 69, McKellar, Ontario P0G 1C0

Phone: (705) 389-2842

Fax: (705) 389-1244

APPLICATION NO: A4

APPLICATION FOR MINOR VARIANCE OR FOR PERMISSION

The undersigned hereby applies to the Committee of Adjustment for the Township of McKellar under Section 45 of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for relief, as described in this application, from the Township's Comprehensive Zoning By-law. **FAILURE TO PROVIDE ALL OF THE INFORMATION REQUIRED BY THIS APPLICATION MAY CAUSE DELAYS OR DISQUALIFY THE APPLICATION UNTIL FURTHER OR MORE ACCURATE INFORMATION IS OBTAINED.**

Date Received:	<u>SEP 11 2024</u>	OFFICE USE ONLY
Date Accepted:	<u>SEP 11 2024</u>	Complete Application: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Application No. <u>A4</u>
Date Stamp:	<u>SEP 11 2024</u>	Application Fee + Deposit Received <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

A. APPLICANT/AGENT INFORMATION

- Name of Owner: David & Karen Munray
- Address: Street and Number Fine Route 306 # 7
 City McKellar Province/State Ontario Postal/Zip Code P2A 0B5
 Home Phone No. 519-536-3883 Business Phone No. _____
 Email djwmun@gmail.com
- Name of Agent (if any): N/A
- Address: _____

Note: Unless otherwise requested, all communications will be sent to the agent, if any.

- Names and Addresses of any mortgagors, holders of charges or other encumbrances:

B. PURPOSE AND TYPE OF APPLICATION

6. Minor Variance from Comprehensive Zoning By-law Permission to extend a legal non-conforming use

From what section of the Zoning By-law is relief being sought?

Height of proposed building exceeds SM

7. Nature and Extent of Relief Applied for:

- the propose mid height is 5.56 M

8. Why is it not possible to comply with the provisions of the Zoning By-Law?

with a 12x12 garage door we need to the extra height

C. DESCRIPTION OF PROPERTY

9. Legal description of subject land (registered plan number and lot number or other legal description and, where applicable, street and street number):

Fire Route 306#7
McKellar Con 4 PT Lot 34; 42R 17839 Parts 1 to 5

10. Dimensions of land affected:

Frontage (metres): 222.5 m. Depth (metres): 103
Area (hectares): 0.92 Ha Width of Street: 89m

11. Access to subject land is by:

- Provincial Highway year-round municipal road seasonal municipal road
 other public road private right of way water access

12. If access to the subject land is by private road, or if "other public road" or "right of way" was indicated in Section 10, indicate who owns the land or road, who is responsible for its maintenance and whether it is maintained seasonally or all year:

Rd is maintained seasonally. All owners share and are responsible for road

13. If access to the subject land is by water only, describe the parking and docking facilities used or to be used and the approximate distance of these facilities from the subject land and the nearest public road:

D. LAND USE AND ZONING

14. Date of Acquisition of Subject Lands: July 31, 2017

15. Date of Construction of all Buildings and Structures on Subject Land:
Main Cottage built May of 2018, proposed build Oct 2024

16. Existing Uses of the Subject Lands:
Recreational Use

17. Length of time the existing uses of the subject property have continued:
Since 2017

18. Existing Uses of Abutting Lands:

19. Services (Check appropriate box):
Water: Dug Well Drilled Well Lake Other _____
Sewage Disposal: Septic Privy Other _____

20. Storm Drainage is provided by (Check appropriate box):
 sewers open ditches swales other (please specify) Nature runoff.

21. Present Official Plan provisions applying to the land:

22. Present Zoning By-law provisions applying to the land:

23. Are there any easements or rights-of-way affecting the subject lands?
 Yes No
If Yes, indicate and describe the purpose of the easement or rights-of-way:
Fine Route 306 #10 has ROW across our property

E. BUILDINGS AND STRUCTURES (on or proposed for the subject land)

EXISTING – List all existing buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m2)	Total Floor Area (m2)	Front	Rear	Side	Side
College	05/31/2018	3	119	299	66	14	17	23

PROPOSED – List all buildings and structures					DISTANCE FROM LOT LINES (metres)			
Building/ Structure Type	Date of Construction	# of Storeys / Height	Ground Floor Area (m2)	Total Floor Area (m2)	Front	Rear	Side	Side
SHOP	Oct 2024	1	119	119	41	51	28	51

F. HISTORY

24. Has the owner previously applied for relief in respect of the subject property?
 Yes No If YES, please provide Application Number, if known: _____

25. Is the subject land currently the subject of an application for a consent or approval of a plan of subdivision?
 Yes No Unknown If YES and if KNOWN, specify the appropriate file number and status of the application:

26. Has the subject land ever been the subject of a minor variance application?
 Yes No Unknown

G. PLANS

27. Every application shall be accompanied by a sketch [SAMPLE on page 9] (based on a boundary survey plan of the subject land) drawn to an appropriate scale, properly dimensioned and showing thereon:

- The boundaries and dimensions of the subject land
- The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings and structures from the front, rear and side lot lines
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks
- The current uses on land that is adjacent to the subject land
- The location, width and name of any roads within or abutting the subject land indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way
- If access to the subject land is by water only, the location of the parking and docking facilities to be used
- The location and nature of any easement affecting the subject land

H. AFFIDAVIT OR SWORN DECLARATION

The content of the application and appendices shall be validated by the Applicant (or authorized agent) in the form of the following Affidavit/Sworn Declaration before a Commissioner or other person empowered to take Affidavits.

Dated at the Township of McKellar this 11th day of September, 2024.
I, David Murray, of the Township of McKellar
in the District of Parry Sound solemnly declare that all
the statements contained in this application are true and I make this solemn declaration conscientiously
believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of
the Canada Evidence Act.

David Murray
Signature of Applicant or Authorized Agent

Declared before me at the Township of McKellar in the District
of Parry Sound this 11th day of September, 2024

Signature of Commissioner of Oaths: Karlee Britton

KARLEE HELAINA BRITTON,
a Commissioner, etc., Province of Ontario,
for the Corporation of the Township of McKellar.
Expires September 6, 2025.

I. CONSENT OF THE OWNER TO THE USE AND DISCLOSURE OF PERSONAL INFORMATION

Complete the consent of the owner concerning personal information set out below.

I, David Murray, am the owner of the land that is the subject of this application and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the *Planning Act* R.S.O. 1990, c.P.13, as amended, for the purpose of processing this application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement. Questions about this collection of personal information should be directed to the Township Clerk.

Sept. 11, 2024
Date

[Signature]
Signature of Owner

J. CONSENT OF THE OWNER TO THE PAYMENT OF REQUIRED FEES AND POTENTIAL FEES

I, _____, acknowledge and agree that applicants must submit the required fee of \$750.00, as well as a Security Deposit of \$500.00 when filing the application. Further, I agree that any costs beyond regular processing costs relating to this application, including but not limited to engineering studies, legal opinions, planning consultant fees, and Ontario Land Tribunal hearing costs, will be the responsibility of the applicant and will submit the balance due upon receipt of an invoice for same.

Sept. 11, 2024
Date

[Signature]
Signature of Owner

K. AUTHORIZATIONS

If the applicant is not the owner of the land that is the subject of this application, the written consent of the owner, authorizing the applicant to make the application, must be included with this form or the authorizations set out below must be completed. Please note: If the Owner is an incorporated company, authorization of the appropriate signing officer(s) is required in accordance with the company's by-laws.

Authorization of Owner for Agent to Make the Application

I, _____, am the owner of the land that is the subject of this application for a Minor Variance and I authorize _____ to make this application on my behalf.

Date

Signature of Owner

If the applicant is not the owner of the land that is the subject of this application, complete the authorization of the owner concerning personal information set out below.

Authorization of the Owner for Agent to Provide Personal Information

I, _____, am the owner of the land that is the subject of this application for a Minor Variance and for the purposes of the *Freedom of Information and Protection of Privacy Act*, R.S.O. 1990, c.M.56, I authorize _____, as my agent for this application, to provide any of my personal information that will be included in this application or collected during the processing of the application. The applicant acknowledges that the Township considers the application forms and all supporting materials, including studies and drawings, filed with this application to be public information and to form part of the public record. With the filing of an application, the applicant consents to the Township photocopying and releasing the application and any supporting material either for its own use in processing the application or at the request of a third party, without further notification to or permission from the applicant. The applicant also hereby states that it has authority to bind its consultants to the terms of this acknowledgement.

Date

Signature of Owner

Lakefront

Fire route
306
10

23m

Existing
Cottage
119 sq m

14

5m
sports shed
2m

51m

17m

13m between
buildings

*
Proposed
Shop
119 sq m

28m

21

+ 30

51m

Owned

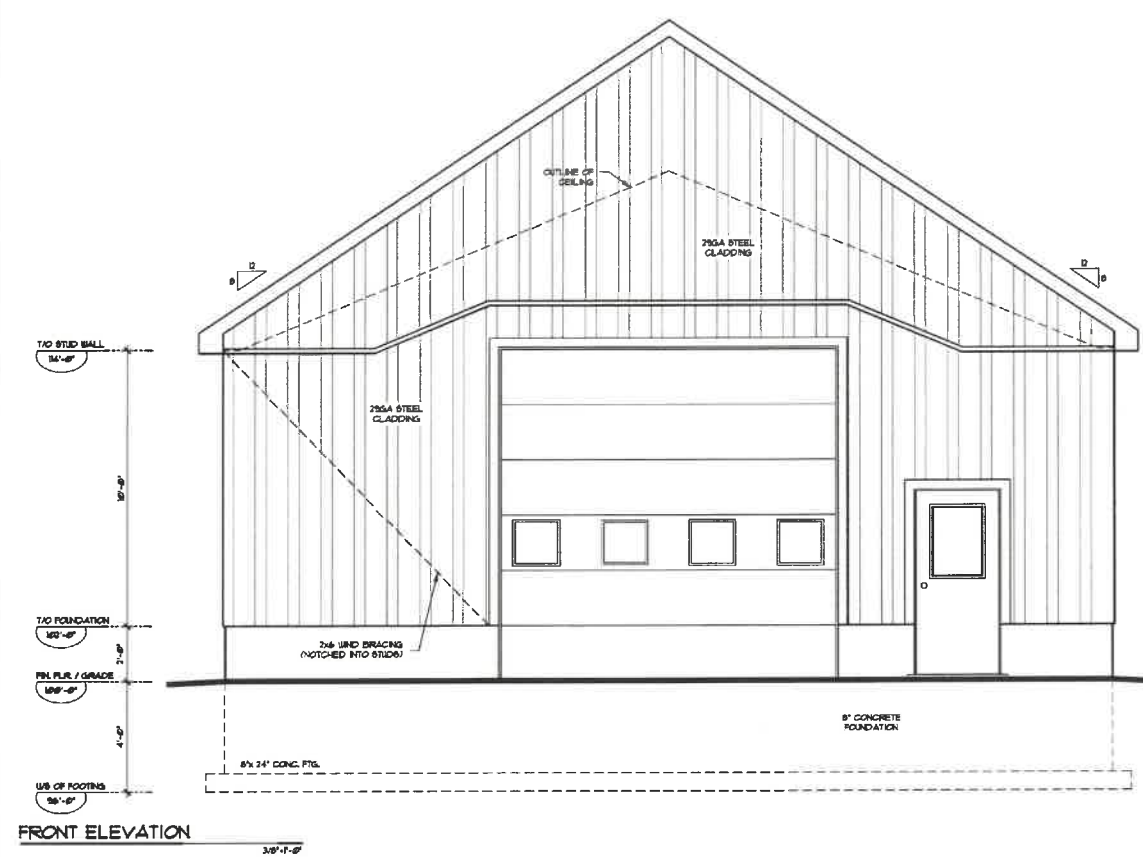
May 6 2020

Fire Route Right of Way
306 # 7

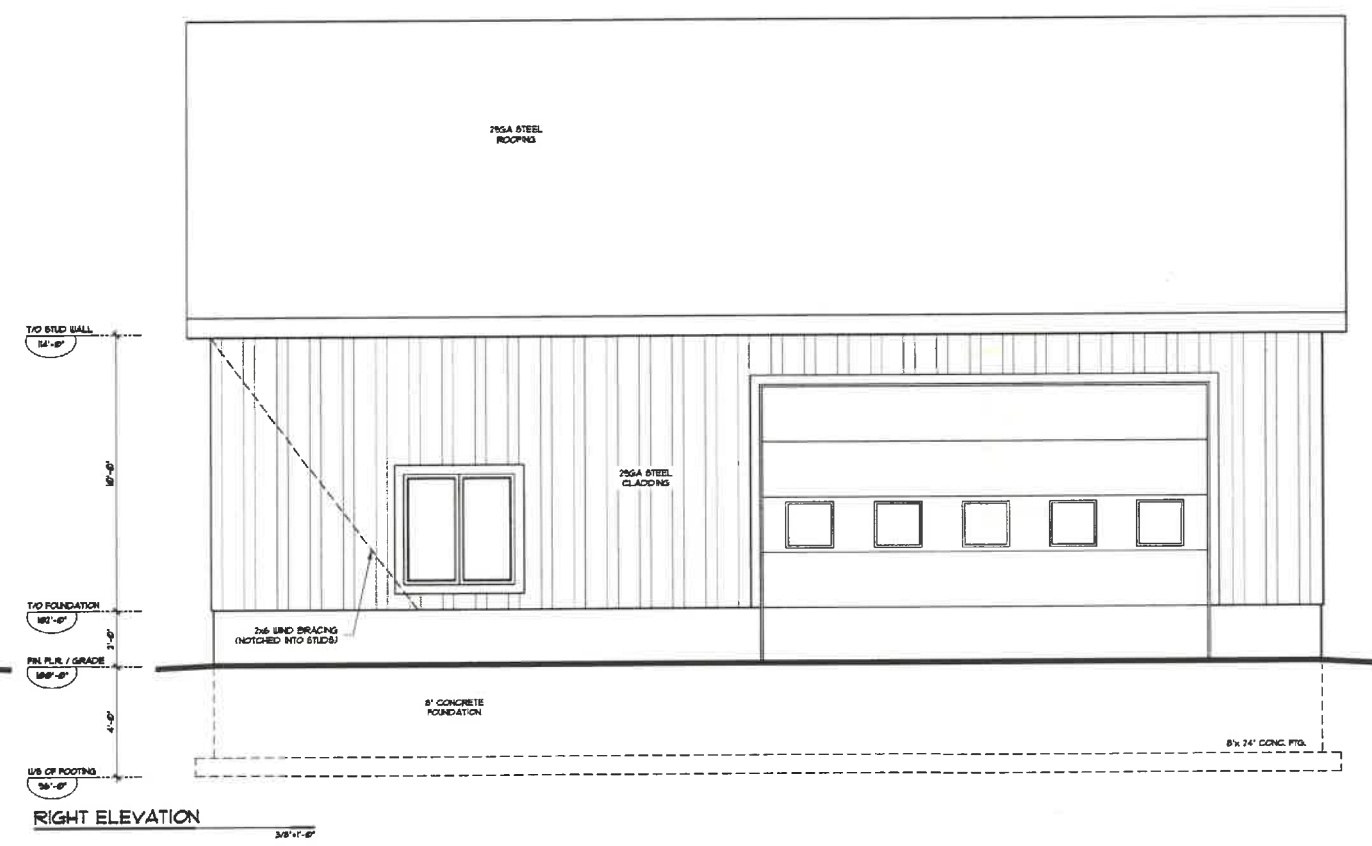
41m

Septic
Bed

Lakefront

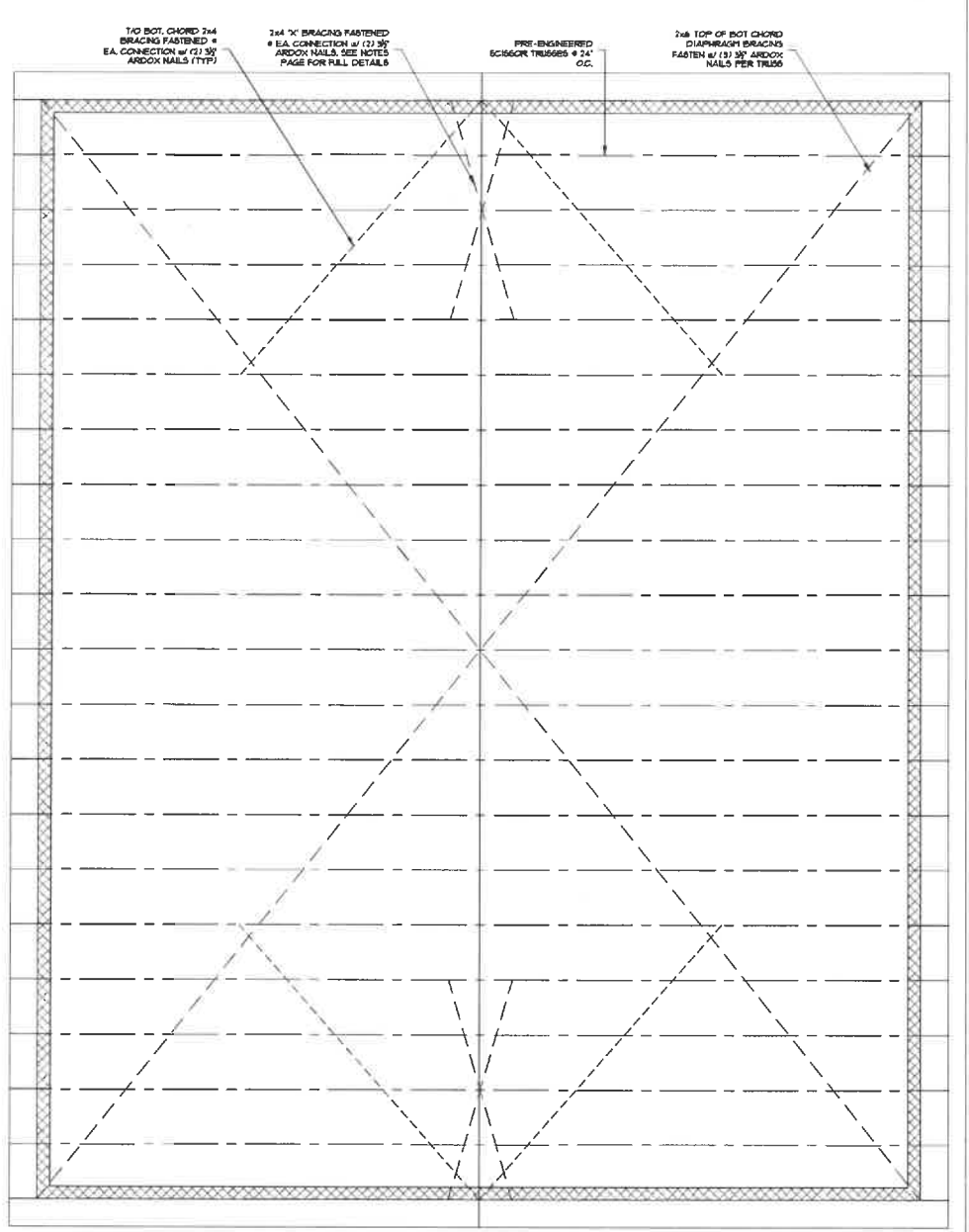
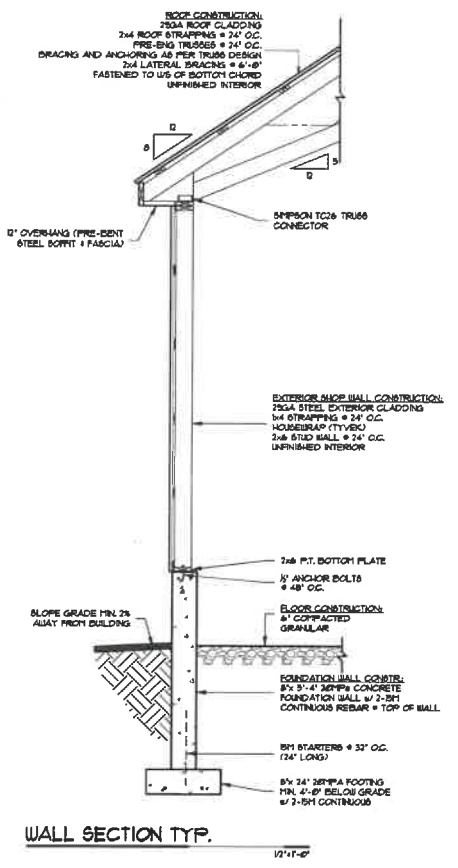
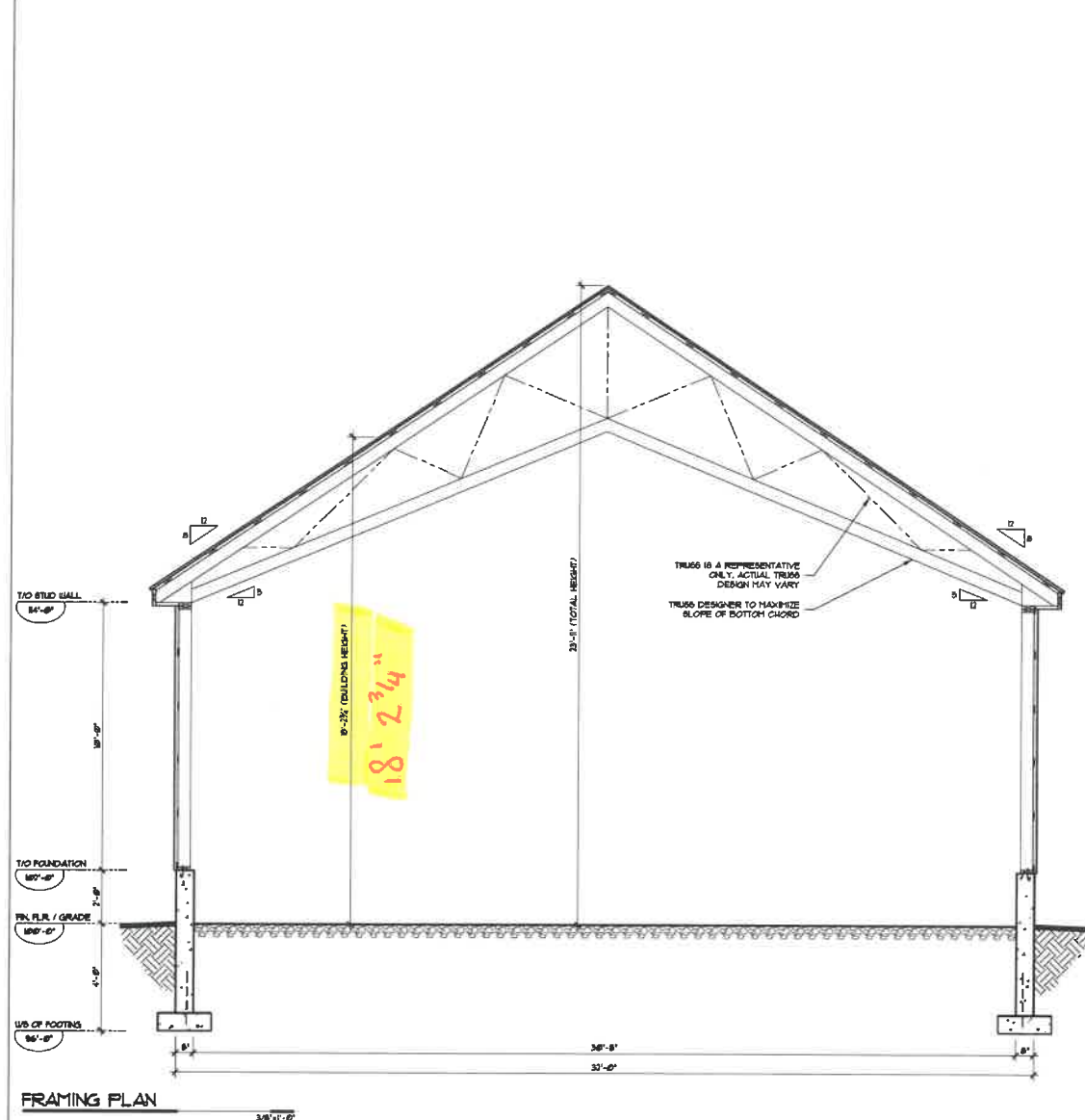


FRONT ELEVATION
38'-0"



RIGHT ELEVATION
38'-0"

<p>Construction & Consulting AGRICULTURE - COMMERCIAL - RESIDENTIAL P. 518-825-4888 E. 518-825-4888 JACQUELITE CA</p>	<p>Seal of Approval REGISTERED PROFESSIONAL ENGINEER JACQUELITE CA 2014-08-08</p>	<p>ADDITIONS:</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>STATUS</th></tr> <tr><td>1</td><td>MARCH 9, 2022</td><td>FOR REVIEW</td></tr> <tr><td>2</td><td>MARCH 18, 2022</td><td>FOR CONSTRUCTION</td></tr> <tr><td>3</td><td>SEPT. 3, 2024</td><td>REVISED OVERALL SIZE</td></tr> </table>	NO.	DATE	STATUS	1	MARCH 9, 2022	FOR REVIEW	2	MARCH 18, 2022	FOR CONSTRUCTION	3	SEPT. 3, 2024	REVISED OVERALL SIZE	<p>PROJECT STATUS:</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>STATUS</th></tr> <tr><td>1</td><td>MARCH 9, 2022</td><td>FOR REVIEW</td></tr> <tr><td>2</td><td>MARCH 18, 2022</td><td>FOR CONSTRUCTION</td></tr> <tr><td>3</td><td>SEPT. 3, 2024</td><td>REVISED OVERALL SIZE</td></tr> </table>	NO.	DATE	STATUS	1	MARCH 9, 2022	FOR REVIEW	2	MARCH 18, 2022	FOR CONSTRUCTION	3	SEPT. 3, 2024	REVISED OVERALL SIZE	<p>CONTRACTOR NAME & ADDRESS:</p> <p>T.B.D.</p>	<p>PROJECT NAME & ADDRESS:</p> <p>MURRAY - SHOP #1 FIRE ROUTE 3026, MCKELLAR, ONTARIO</p>	<p>DATE: 09-03-2022</p> <p>SCALE: AS NOTED</p>
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<p>NO NET SCALE DRAWING ALL DIMENSIONS TO BE GIVEN BY THE CONTRACTOR FROM TO CONSTRUCTION USE AND DISCREPANCIES REPORTED TO THE ARCHITECT.</p>		<p>PROJECT NORTH</p>	<p>TRUE NORTH</p>	<p>PROJECT A 22-023</p> <p>DRAWN BY: JL</p> <p>REVISIONS BY: JL</p>	<p>DRAWING TITLE: FRONT + RIGHT ELEVATIONS</p>	<p>SHEET No: 53</p>																								



TRUSS BRACING SHOWN IS A REPRESENTATIVE ONLY. REFER TO BRACING NOTES (THIS PAGE) AND STRAPPED TRUSS DRAWINGS (DESIGNED BY OTHERS) FOR FULL CONSTRUCTION DETAILS.

NOTE:
 1. 0' EAVE OVERHANGS INCL.
 2. 0' GABLE OVERHANGS INCL.
 3. ATTIC ACCESS HATCH TO BE INSTALLED (LOCATION TBD.)

ROOF FRAMING PLAN
3/8" = 1'-0"

Construction & Consulting
 AGRICULTURE - COMMERCIAL - RESIDENTIAL
 P. 616-836-4888
 E. PHOENIX@CONSTRUCTION-CA.COM
 SACRAMENTO, CA

Seal of Approval
 CONSULTING ENGINEER
 CIVIL
 1244 14TH AVE S.E.
 SUITE 200
 BELLEVILLE, ONTARIO L7R 1N5
 519-237-7777
 2024-09-29

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
CL	CORNER LINES	PT	PITCH
CR	COURT	RF	ROOF FINISH
DR	DRIVE	SL	SLOPE
EX	EXTERIOR	TR	TRUSS
FIN	FINISH	UN	UNFINISHED
INT	INTERIOR	W	WALL
LD	LANDSCAPE	WT	WOOD TRUSS
LN	LINE	Z	ZONING
MT	MOUNTAIN		
PL	PLAN		
RF	ROOF FINISH		
SL	SLOPE		
TR	TRUSS		
UN	UNFINISHED		
W	WALL		
WT	WOOD TRUSS		
Z	ZONING		

PROJECT STATUS

NO.	DATE	STATUS
1	MARCH 9, 2023	FOR REVIEW
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3	SEPTEMBER 3, 2024	REVISED OVERALL SIZE

CONTRACTOR NAME & ADDRESS

T.B.D.

PROJECT NORTH TRUE NORTH

PROJECT NAME & ADDRESS

MURRAY - SHOP
 #1 FIRE ROUTE 306,
 MCKELLAR, ONTARIO

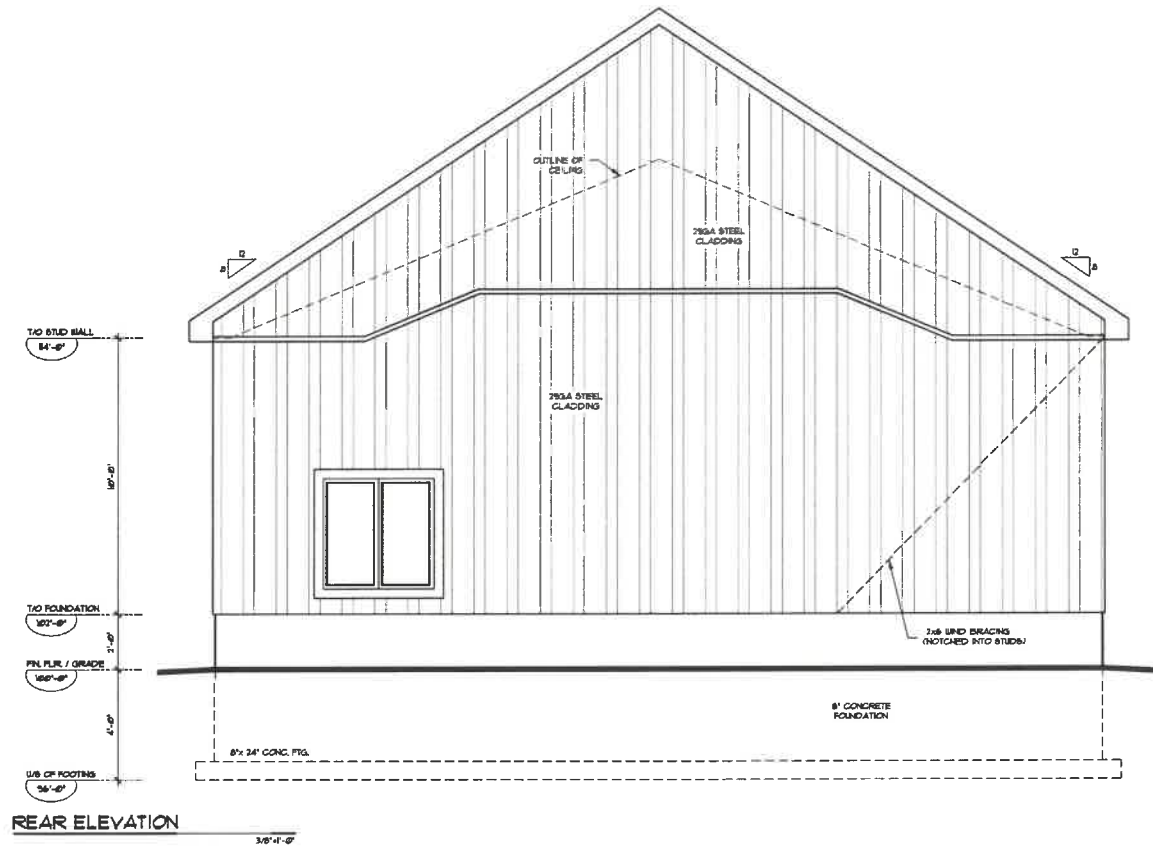
DRAWING TITLE

ROOF FRAMING PLAN
 + SECTIONS

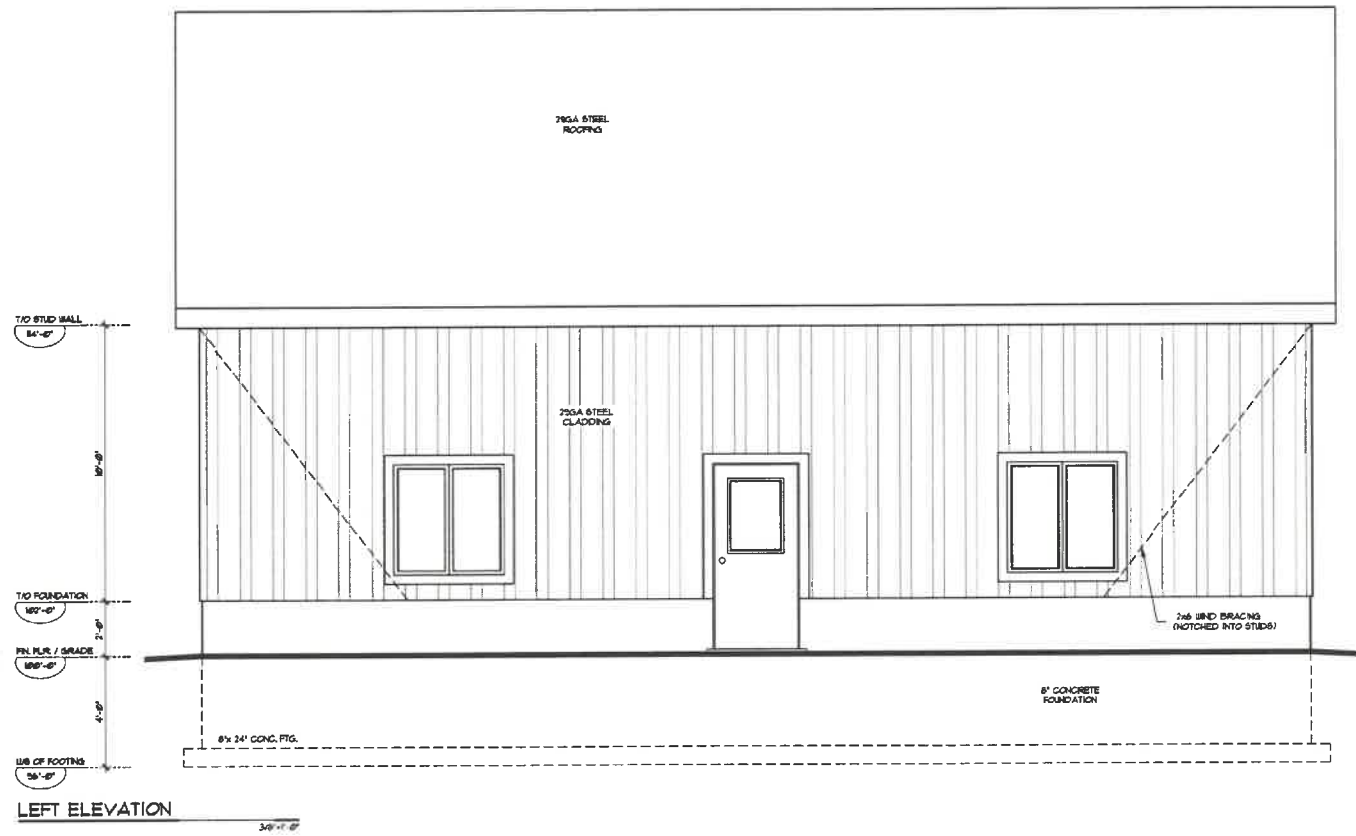
DATE
09-23-2022

SCALE
AS NOTED

SHEET No.
62



REAR ELEVATION
38'-0" x 11'-0"



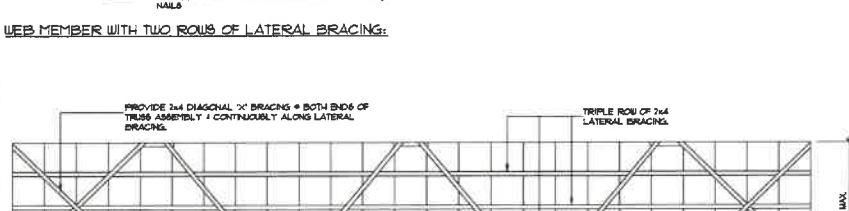
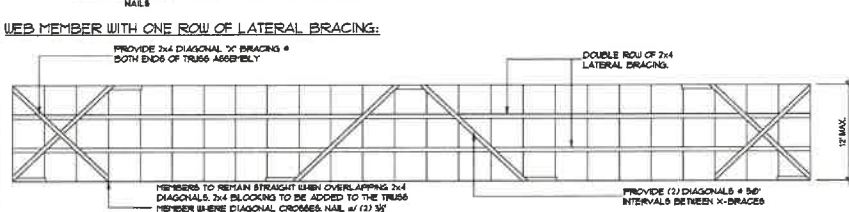
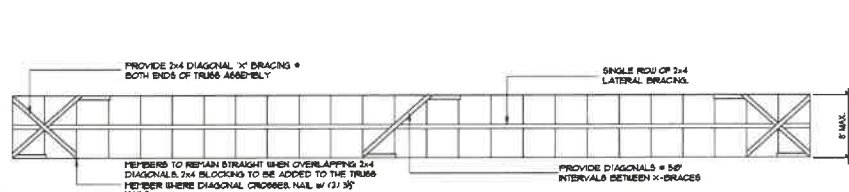
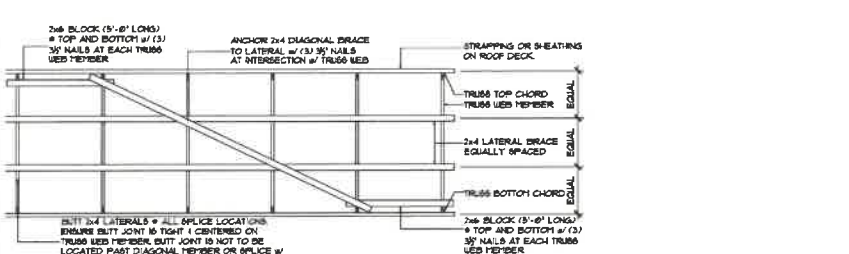
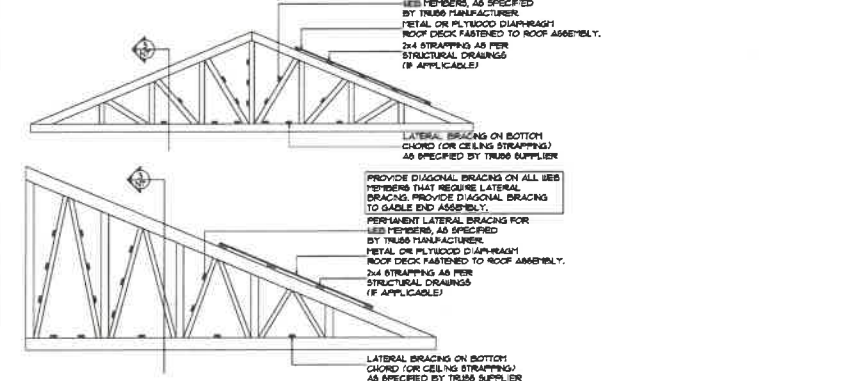
LEFT ELEVATION
38'-0" x 11'-0"

 Construction & Consulting AGRICULTURE - COMMERCIAL - RESIDENTIAL P: 514-433-4900 E: jacob@construction.ca JACOBLIMITED.CA	 Seal of Approval AN APPROVED CONTRACTOR CONSULTANTS LTD. 1000 STURGEON ROAD, SUITE 100 SCARBOROUGH, ONTARIO M1V 5L1 2014-08-28	ABBREVIATIONS: C.C. COMPLETE WITH PERMITS E.O. EXISTING F.O. FOUNDATION G.O. GROUND L.O. LAYOUT M.O. MEASUREMENT N.O. NOTED P.O. PLAN R.O. REMOVE S.O. SURFACE T.O. TO U.O. UNDER V.O. VERTICAL W.O. WORK X.O. EXISTING	PROJECT STATUS: <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>STATUS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>MARCH 9, 2022</td> <td>FOR REVIEW</td> </tr> <tr> <td>2</td> <td>MARCH 16, 2022</td> <td>FOR CONSTRUCTION</td> </tr> <tr> <td>3</td> <td>SEPT. 3, 2024</td> <td>REVISED OVERALL SIZE</td> </tr> </tbody> </table>	NO.	DATE	STATUS	1	MARCH 9, 2022	FOR REVIEW	2	MARCH 16, 2022	FOR CONSTRUCTION	3	SEPT. 3, 2024	REVISED OVERALL SIZE	CONTRACTOR NAME + ADDRESS: T.B.D.	PROJECT NAME + ADDRESS: MURRAY - SHOP #1 FIRE ROUTE 306, MCKELLAR, ONTARIO	DATE: 09-03-2022 SCALE: AS NOTED SHEET No.: S4
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PROJECT NORTH: 	TRUE NORTH: 	PROJECT A: 21-025 DRAWN BY: JPL REVIEWED BY: JPL	DRAWING TITLE: REAR + LEFT ELEVATIONS															

TRUSS NOTES:

- TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE O.B.C. AND CERTIFIED BY A PROFESSIONAL ENGINEER.
- UNBALANCED LOAD CONDITIONS SHALL BE ACCOUNTED FOR.
- TRUSS DESIGNER TO ACCOUNT FOR INCREASED SNOW LOADS DUE TO ROOF VALLEYS AND SNOW SHADOWS.
- TRUSS SHOP DRAWINGS SHALL BE PROVIDED TO JM CONSTRUCTION + CONSULTING FOR REVIEW PRIOR TO FABRICATION.
- REFER TO DESIGN LOAD TABLE FOR DESIGN LOADS FOR THIS PROJECT.

- DIAGONAL BRACING MUST BE PROVIDED ON ALL WEB MEMBERS THAT REQUIRE LATERAL BRACING. DIAGONAL BRACING SHALL BE LOCATED AT EACH END OF THE TRUSS ASSEMBLY AND SPACED AS NOTED ON STRUCTURAL DRAWINGS. X-BRACING SHALL BE PROVIDED AT 50'-0" INTERVALS UNLESS NOTED OTHERWISE. (SEE DIAGRAMS BELOW)



WEB MEMBER WITH THREE ROWS OF LATERAL BRACING:

CODES AND STANDARDS:

- STAIR DIMENSIONS
INTERIOR STAIRS
MAX RISE: 7 1/4"
MIN RUN: 9"
MIN TREAD: 10"
NOSSING: 1"
MIN HEADROOM: 6'-5"
UNIFORM RISE AND RUN IN ANY ONE FLIGHT OF STAIRS
GUARD HEIGHT:
AT ALL LANDINGS: 36"
AT STAIRS: 36"
AT HANDRAILS: 36"
GUARDS TO BE NON-CLIMBABLE WITH MAX SPACING OF 4"
EXTERIOR STAIRS (INCLUDING THE GARAGE):
MAX RISE: 7 1/4"
MIN RUN: 9"
MIN TREAD: 10"
NOSSING: 1"
GUARD HEIGHT:
GREATER THAN 2'-0" ABOVE GRADE: 36"
GREATER THAN 5'-11" ABOVE GRADE: 42"
A LANDING IS REQUIRED # THE MAIN ENTRANCE. A LANDING + 36" GUARD IS REQUIRED # ANY SECONDARY ENTRANCE WHEN MORE THAN 3 RISERS.
2. ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER O.B.C. 9.30.6
3. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH O.B.C. 9.34.
4. SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL, IN EACH BEDROOM, AND IN A HALLWAY CONNECTING BEDROOMS. ALL DETECTORS ARE REQUIRED TO BE HARDWIRED.
5. RANGE HOODS TO BE VENTED TO THE EXTERIOR w/ NON-COMBUSTIBLE PIPING
6. ATTIC VENTILATION TO COMPLY WITH O.B.C. 9.32 + (1/3000)
7. PROVIDE AN AIR BARRIER IN ACCORDANCE WITH O.B.C. 9.25.5
8. HEADROOM UNDER DUCTWORK AND BEAMS TO BE MIN. 6'-5"
9. INSULATE + WEATHER STRIP ATTIC ACCESS HATCHES (MIN 20"x20")
10. ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY IN ACCORDANCE WITH O.B.C. 9.6.6
11. DOOR FROM GARAGE TO HOUSE TO BE EXTERIOR TYPE w/ WEATHER STRIPPING AND CLOSER
12. PROVIDE MINIMUM R-24 INSULATION ON INTERIOR GARAGE WALLS
13. PROVIDE MINIMUM R-31 INSULATION IN FLOOR SPACE OVER GARAGE, AND ENSURE WALLS AND CEILING OF GARAGE SIDE ADJACENT TO LIVING SPACE ARE TO BE DRYWALLED AND SEALED (GAS PROOFED)
14. EVERY FLOOR CONTAINING BEDROOMS MUST HAVE AT LEAST (1) WINDOW WITH AN UNOBSTRUCTED OPENING NOT LESS THAN 3.0 SQFT, WITH NO DIMENSION LESS THAN 15" AND A SILL HEIGHT NO MORE THAN 3'-3" ABOVE FIN FLOOR
15. FOR MASONRY VENEER INSTALLATION, PROVIDE CONTINUOUS FLASHING AND WEAPHOLES EVERY 30" O.C. MAX.
16. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN.
17. IF THERE ARE ANY CHANGES FROM THE DESIGN TO THE CONSTRUCTION, THE DESIGNER MUST BE NOTIFIED PRIOR TO BUILDING.

FOUNDATION + EXCAVATION:
MAXIMUM FOUNDATION BACKFILL HEIGHTS:
CONCRETE FOUNDATION WALLS WHICH DO NOT EXTEND TO THE UNDERSIDE OF THE MAIN FLOOR JOISTS MAY BE BACK FILLED UP TO THE FOLLOWING HEIGHTS ABOVE THE BASEMENT FLOOR BASED ON THE O.B.C. 2019 DIV. B 9.35.4.2.1:
8" (20 MPa) CONCRETE FOUNDATION = 3'-11"
16" (20 MPa) CONCRETE FOUNDATION = 4'-1"

FOUNDATION OPENINGS GREATER THAN 2'-0" WIDE:
REINFORCE FOUNDATION WALL AROUND OPENING WITH 2-1#4 FULL HEIGHT VERTICALS # 3" O.C. EACH SIDE OF OPENING + 2-1#4 HORIZONTALS ABOVE (IF APPLICABLE) + BELOW OPENING # 2" O.C. EXTEND HORIZONTAL REBAR 24" PAST OPENING. TYP. FOR WINDOWS 48" TO 12' WIDE.

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES OR CHANGES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION SAFETY ACT 1987 AND ANY SUBSEQUENT AMENDMENTS
- REMOVE ALL TOPSOIL, ORGANIC AND LOOSE FILL MATERIAL FROM BUILDING AREA BEFORE STARTING CONSTRUCTION.

- PROOF ROLL EXISTING FILL MATERIAL. REMOVE ANY LOOSE OR SOFTENED AREAS BENEATH SLAB ON GRADE BEFORE PLACING GRANULAR FILL.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 3000 P.S.F.
- APPROVED GRANULAR FILL UNDER FOOTINGS AND FLOOR SLABS SHALL BE COMPACTED IN 6" LAYERS TO 98% STANDARD PROCTOR MAX DRY DENSITY.
- W/S OF EXTERIOR FOOTINGS SHALL BE A MINIMUM 4'-0" BELOW FINISHED EXTERIOR GRADE TO PROTECT THE FOOTINGS FROM FROST ACTION.
- CUT + CAP OR REROUTE ALL FIELD TILE EXPOSED DURING EXCAVATION
- ALL CONCRETE WORK TO CONFORM TO CSA STANDARD A23.
- REINFORCING STEEL SHALL BE DEFORMED HI-BOND HARD GRADE WITH A MINIMUM YIELD STRENGTH OF 50,000 P.S.I.
- ALL STD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. MAX.
- CONCRETE FOR SLABS ON GRADE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 P.S.I. ALL OTHER CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 P.S.I. UNO.
- ALL CONCRETE FORMS TO BE WET THOROUGHLY BEFORE POURING CONCRETE.
- DO NOT ADD WATER TO CONCRETE. IF HIGHER SLUMP CONCRETE IS DESIRED, CONCRETE SUPPLIER SHALL DESIGN AND SUPPLY ACCORDINGLY.
- WATER CURING OF CONCRETE IS RECOMMENDED
- USE A MIN. OF 6" COMPACTED 3/4" CLEAR STONE UNDER ALL GROUND SLABS.

17. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT EXISTING FOOTINGS ARE NOT DISTURBED OR UNDERMINED IN ANY WAY DURING EXCAVATION.
18. THE FOLLOWING MINIMUM CONCRETE COVERS FOR REINFORCING STEEL SHALL BE PROVIDED: FOOTINGS: 3", PIERS AND WALLS: 1/2" UNO.

WOOD FRAMING w/ STEEL SUPPORTS:
1. STRUCTURAL STEEL SHALL CONFORM TO CSA G4021-440 AND G4021-500 CLASS H FOR HSS.
2. STEEL BEAMS AND LINTELS SHALL HAVE 3/8" MINIMUM END BEARING ON MASONRY AND 2 1/2" MINIMUM END BEARING ON STEEL UNO.
3. JR. COLUMNS OR S.T.S. SUPER POSTS SHALL BE USED FOR ALL INDICATED STEEL TELEPOSTS
4. ALL STEEL POSTS SHALL HAVE AN ALLOWABLE CAPACITY EQUAL TO OR GREATER THAN THE RATING INDICATED ON THE PLAN
5. ALL BEAMS CANTILEVERED OVER A COLUMN OR OTHER SUPPORT SHALL HAVE A MINIMUM OF 2 1/2" THICK STIFFENER PLATE WELDED TO EACH SIDE OF THE WEB UNO.
6. COLUMN BASE PLATES AND BEAM BEARING PLATES SHALL BE GROUTED WITH 1/2" NON-SHRINK GROUT.

- SHOP DRAWINGS OF STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW BEFORE FABRICATION.
- WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W89 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41
- BOLTED CONNECTIONS SHALL USE A325 BOLTS, USING BEARING TYPE CONNECTIONS.
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE DETAILS AND DESIGN LOADS ON THE ARCHITECTURAL DRAWINGS. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED TO JM CONSTRUCTION + CONSULTING FOR REVIEW BEFORE FABRICATION.
- ALL TIMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSSES
- NAILING REQUIREMENTS (AS PER O.B.C.) SHALL BE AS FOLLOWS:
A. VERTICAL STUDS TO BOTTOM PLATES: (4) 3" ARDOX NAILS
B. VERTICAL STUDS TO TOP PLATES: (4) 3 1/2" ARDOX NAILS
C. ROOF TRUSSES TO PLATES: DESIGNED BY TRUSS ENGINEER
D. WIND BRACINGS (PER TRUSS): DESIGNED BY TRUSS ENGINEER
E. BRACINGS (PER TRUSS): DESIGNED BY TRUSS ENGINEER
F. LINTELS: 3 1/2" ARDOX # 12" O.C. HOR. + 4" O.C. VERT. STAGGERED
G. WALL SHEATHING: 1 1/2" ARDOX NAILS # 8" O.C. AROUND EXTERIOR + 12" O.C. THROUGHOUT UNO.

- ALL STD WALLS SHALL BE ANCHORED TO THE FOUNDATION OR FLOOR SLAB WITH 1/2" DIAMETER ANCHOR BOLTS AT 4'-0" O.C. MAXIMUM
- THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT OVERLOAD THE STRUCTURE DURING CONSTRUCTION.

FRAMING NOTES:

- ALL FLOOR JOISTS w/ CROSS-BRIDGING AND STRAPPING # 1'-8" O.C. UNO.
- PROVIDE DOUBLE JOIST FRAMING UNDER PARALLEL WALLS ABOVE AND AROUND STAIRS
- PROVIDE BUILT-UP WOOD STUD POSTS EQUAL TO STUD DEPTH X WIDTH OF BEAM AT EACH END OF BEAM OR GIRDER TRUSS UNO.
- ALL ENGINEERED LUMBER SHALL BE LVL BEAM OR EQUIVALENT TO 20E-2550 PD, MIN. 3" END BEARING
- LOAD BEARING WALLS SHALL BE FRAMED WITH 2x6 STUDS # 16" O.C. UNO.
- KEEP DRYWALL TIGHT TO DUCT WORK
- ALL WASHROOMS TO INCL. BLOCKING FOR FUTURE GRAB BARS. REFER TO DETAILS # BOTTOM OF PAGE.
- ALL LUMBER TO BE S-P-F No. 2 OR BETTER
- ALL POSTS EXTEND DOWN TO FOUNDATION OR BEAM BELOW

PLUMBING NOTES:

- EVERY WATER DISTRIBUTION SYSTEM MUST BE SIZED TO PROVIDE PEAK DEMAND FLOW AS PER TAB. 3, DIV. B, 2019 O.B.C.
- LAUNDRY TRAPS ARE REQUIRED TO HAVE A 2" TRAP NOT 1-1/2" AS PER TABLE 1A.33, DIV. B, 2019 O.B.C.
- WATER CLOSETS MUST HAVE MAXIMUM WATER CONSUMPTION PER FLUSH OF 4.8 LFF AS PER TABLE - 1.6.4.2.B, DIV. B, 2019 O.B.C.

GENERAL NOTES:

THIS BUILDING IS DESIGNATED RESIDENTIAL NEW CONSTRUCTION
IF DRAWINGS ARE NOT REFLECTIVE OF EXISTING CONDITIONS + CHANGES MUST BE MADE, THE DESIGNER MUST BE NOTIFIED AND AGREE TO THE PROPOSED CHANGES PRIOR TO THE WORK BEING CARRIED OUT.
THIS DRAWING SET IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE DUPLICATED OR SHARED WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

DESIGN LOADS:

SNOW DESIGN (FERRY SOUND, ONT.)	8e + 2.8 kPa (50.48 psf), 5e + 0.40 kPa (8.35 psf)
ROOF SNOW LOAD	ULS = 1.71 kPa (35.1 psf), 6LS = 1.54 kPa (32.1 psf)
ROOF DEAD LOAD	0.53 kPa (11 psf)
WIND LOADS	1/50 - 0.39 kPa (8.15 psf)
OCCUPANCY LOAD (IF APPLICABLE)	1.92 kPa (40.1 psf)

Construction & Consulting
AGRICULTURE - COMMERCIAL - RESIDENTIAL
P: 314-823-8866
E: jmurphy@cccl.ca
1500 SHELL SPENCER
ALL DRAWINGS AND SPECIFICATIONS TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

Seal of Approval
REGISTERED PROFESSIONAL ENGINEER
NO. 11212
MURRAY + SHOP
1500 SHELL SPENCER
2014-08-05

ABBREVIATIONS:

NO.	DATE	STATUS
1	MARCH 9, 2022	FOR REVIEW
2	MARCH 19, 2022	FOR CONSTRUCTION
3	SEPT. 9, 2024	REVISED OVERALL SIZE

PROJECT STATUS:

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CONTRACTOR NAME + ADDRESS:
T.B.D.

PROJECT NORTH TRUE NORTH

PROJECT A
21-023
DRAIN BY: JPL
REVIEWED BY: JPL

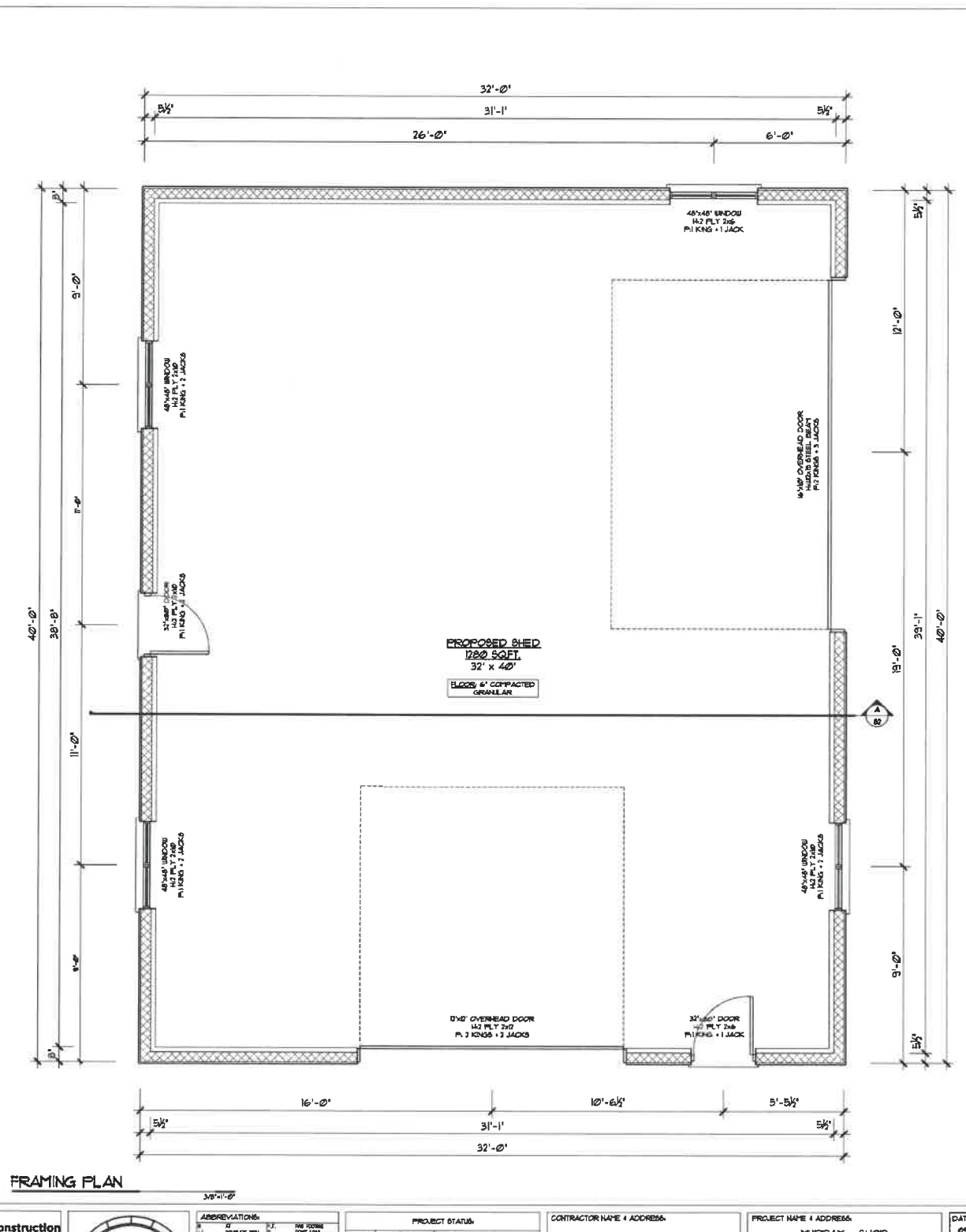
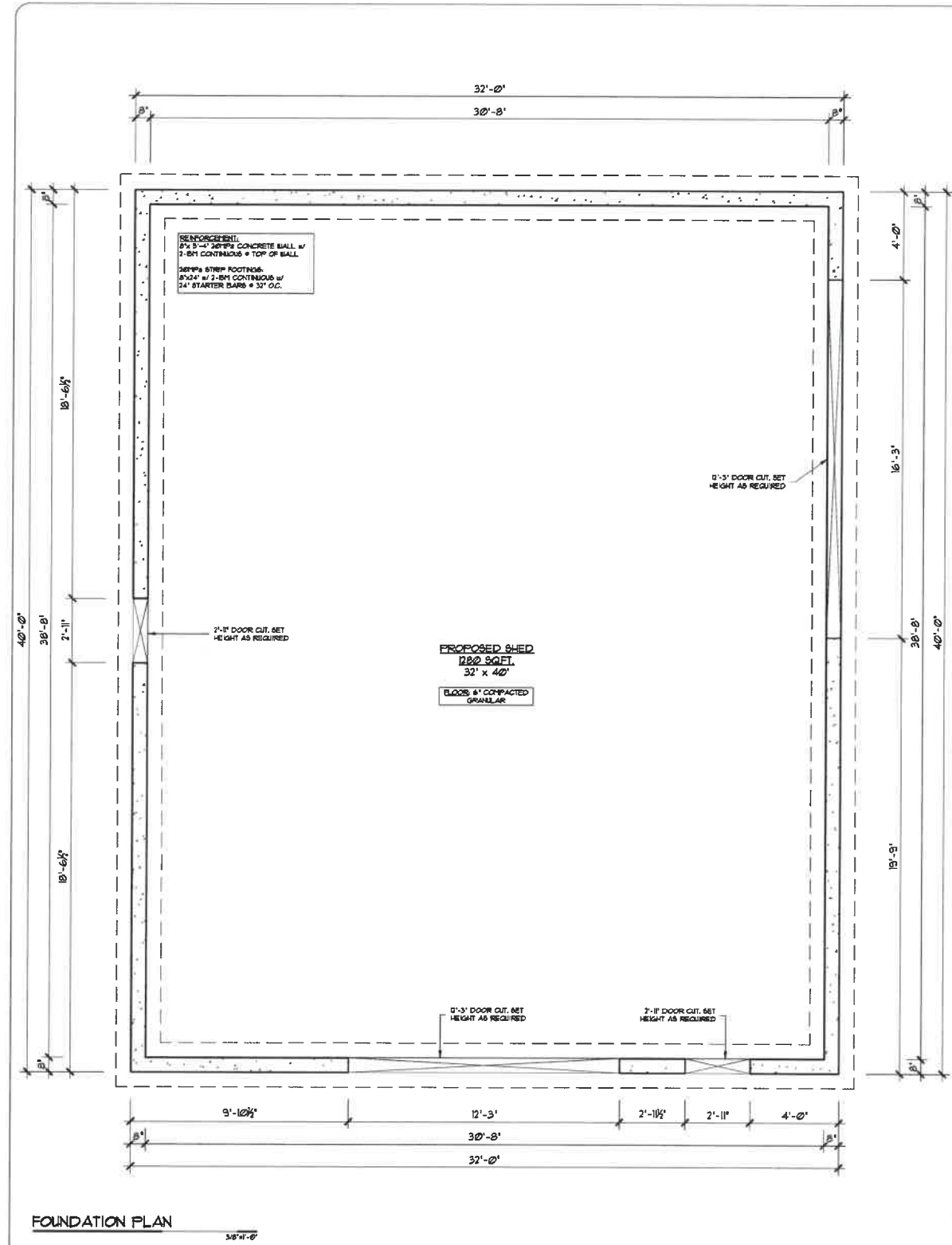
PROJECT NAME + ADDRESS:
MURRAY + SHOP
#1 FIRE ROUTE 3026,
McKELLAR, ONTARIO

DRAWING TITLE:
GENERAL NOTES

DATE:
079-03-2602

DSCALE:
AS NOTED

SHEET No:
NT



<p>Construction & Consulting ARCHITECTURE, COMMERCIAL, RESIDENTIAL P: 904-333-4500 F: 904-333-4501 JACKSONVILLE, FL JACKSONVILLE, FL</p>	<p>Seal of Approval Professional Engineer JACKSONVILLE, FL 2024-01-01 2024-01-01 2024-01-01</p>	<p>ABREVIATIONS:</p> <table border="1"> <tr><td>AC</td><td>COMPLETE WITH</td><td>THE FORM</td></tr> <tr><td>AD</td><td>ARCHITECT</td><td>PROJECT</td></tr> <tr><td>CE</td><td>CONTRACTOR</td><td>DRUG, CRACKS</td></tr> <tr><td>CL</td><td>CLERK OF WORK</td><td>NO. OF</td></tr> <tr><td>CS</td><td>CONCRETE</td><td>UNFINISHED</td></tr> <tr><td>CU</td><td>CURTAIN WALL</td><td>BEARD THE W/D</td></tr> <tr><td>DA</td><td>DRY WALL</td><td>STY TO BE</td></tr> <tr><td>DB</td><td>DRY BENCH</td><td>UP TO MAKE</td></tr> <tr><td>DC</td><td>DRY CURB</td><td>DOWN</td></tr> <tr><td>DD</td><td>DRY DRAIN</td><td>WOOD SHED</td></tr> <tr><td>DE</td><td>DRY EXTERIOR</td><td>DOOR, SHED</td></tr> <tr><td>DF</td><td>DRY FLOOR</td><td>DOOR, SHED</td></tr> <tr><td>DG</td><td>DRY GROUND</td><td>DOOR, SHED</td></tr> <tr><td>DH</td><td>DRY HALL</td><td>DOOR, SHED</td></tr> <tr><td>DI</td><td>DRY INTERIOR</td><td>DOOR, SHED</td></tr> <tr><td>DJ</td><td>DRY JUNCTION</td><td>DOOR, SHED</td></tr> <tr><td>DK</td><td>DRY KITCHEN</td><td>DOOR, SHED</td></tr> <tr><td>DL</td><td>DRY LIVING</td><td>DOOR, SHED</td></tr> <tr><td>DM</td><td>DRY MURDER</td><td>DOOR, SHED</td></tr> <tr><td>DN</td><td>DRY NEST</td><td>DOOR, SHED</td></tr> <tr><td>DO</td><td>DRY OFFICE</td><td>DOOR, SHED</td></tr> <tr><td>DP</td><td>DRY PORCH</td><td>DOOR, SHED</td></tr> <tr><td>DQ</td><td>DRY QUARTERS</td><td>DOOR, SHED</td></tr> <tr><td>DR</td><td>DRY RESTROOM</td><td>DOOR, SHED</td></tr> <tr><td>DS</td><td>DRY SLEEPING</td><td>DOOR, SHED</td></tr> <tr><td>DT</td><td>DRY TUB</td><td>DOOR, SHED</td></tr> <tr><td>DU</td><td>DRY UTILITY</td><td>DOOR, SHED</td></tr> <tr><td>DV</td><td>DRY VESTIBULE</td><td>DOOR, SHED</td></tr> <tr><td>DW</td><td>DRY WALKWAY</td><td>DOOR, SHED</td></tr> <tr><td>DX</td><td>DRY WARDEN</td><td>DOOR, SHED</td></tr> <tr><td>DY</td><td>DRY YARD</td><td>DOOR, SHED</td></tr> <tr><td>DZ</td><td>DRY ZONE</td><td>DOOR, SHED</td></tr> </table>	AC	COMPLETE WITH	THE FORM	AD	ARCHITECT	PROJECT	CE	CONTRACTOR	DRUG, CRACKS	CL	CLERK OF WORK	NO. OF	CS	CONCRETE	UNFINISHED	CU	CURTAIN WALL	BEARD THE W/D	DA	DRY WALL	STY TO BE	DB	DRY BENCH	UP TO MAKE	DC	DRY CURB	DOWN	DD	DRY DRAIN	WOOD SHED	DE	DRY EXTERIOR	DOOR, SHED	DF	DRY FLOOR	DOOR, SHED	DG	DRY GROUND	DOOR, SHED	DH	DRY HALL	DOOR, SHED	DI	DRY INTERIOR	DOOR, SHED	DJ	DRY JUNCTION	DOOR, SHED	DK	DRY KITCHEN	DOOR, SHED	DL	DRY LIVING	DOOR, SHED	DM	DRY MURDER	DOOR, SHED	DN	DRY NEST	DOOR, SHED	DO	DRY OFFICE	DOOR, SHED	DP	DRY PORCH	DOOR, SHED	DQ	DRY QUARTERS	DOOR, SHED	DR	DRY RESTROOM	DOOR, SHED	DS	DRY SLEEPING	DOOR, SHED	DT	DRY TUB	DOOR, SHED	DU	DRY UTILITY	DOOR, SHED	DV	DRY VESTIBULE	DOOR, SHED	DW	DRY WALKWAY	DOOR, SHED	DX	DRY WARDEN	DOOR, SHED	DY	DRY YARD	DOOR, SHED	DZ	DRY ZONE	DOOR, SHED	<p>PROJECT STATUS:</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>STATUS</th></tr> <tr><td>1</td><td>MARCH 9, 2022</td><td>FOR REVIEW</td></tr> <tr><td>2</td><td>MARCH 18, 2022</td><td>FOR CONSTRUCTION</td></tr> <tr><td>3</td><td>SEPT. 5, 2024</td><td>REVISED OVERALL SIZE</td></tr> </table>	NO.	DATE	STATUS	1	MARCH 9, 2022	FOR REVIEW	2	MARCH 18, 2022	FOR CONSTRUCTION	3	SEPT. 5, 2024	REVISED OVERALL SIZE	<p>CONTRACTOR NAME & ADDRESS: T.B.D.</p>	<p>PROJECT NAME & ADDRESS: MURRAY - SHOP #1 FIRE ROUTE 3026, MCKELLAR, ONTARIO</p>	<p>DATE: 09-03-2022</p> <p>SCALE: AS NOTED</p>
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